



<p>GENERAL NOTES</p> <p>1. ALL WORKS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARDS, STATUTORY REGULATIONS AND LOCAL AUTHORITY REQUIREMENTS, INCLUDING CONDITIONS OF CONSENT.</p> <p>2. DO NOT SCALE OFF THIS DRAWING. ONLY USE DIMENSIONS PROVIDED.</p> <p>3. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING WORK.</p> <p>4. MINOR DRAWINGS TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS FROM ALL CONSULTANTS.</p> <p>5. CONTRACTOR TO NOTIFY MINOR OF ANY DISCREPANCIES, DIMENSIONAL INCONSISTENCIES, OR THE NEED FOR CLARIFICATION PRIOR TO MANUFACTURING.</p> <p>6. CONTRACTOR TO ENSURE CONSISTENCY BETWEEN MATERIALS IS MAINTAINED.</p> <p>7. MINOR TO REVIEW ALL CONTRACTOR'S DETAILED DRAWINGS / SETTING OUT PRIOR TO CONSTRUCTION.</p> <p>8. PROGRESS WORK TO BE VERIFIED AGAINST DRAWINGS FOLLOWING EXECUTION AND ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO CONTRACTOR PROCEEDING WITH NEXT TRADE.</p>	<p>ALL CONSTRUCTION TO COMPLY AT MINIMUM W/ BCA CLAUSES & AUSTRALIAN STANDARDS</p> <p>CLAUSE B 1.4 - MATERIAL & FORMS CONSTRUCTIONS</p> <p>SPEC. C 1.1 - FIRE RESISTING CONSTRUCTION</p> <p>SPEC. C 1.10 - FIRE HAZARD PROPERTIES</p> <p>SPEC. C 1.11 - PERFORMANCE OF EXTERNAL WALLS IN A FIRE</p> <p>CLAUSE C 2.6 - VERTICAL SEPARATION OF OPENINGS IN EXTERNAL WALL</p> <p>CLAUSE C 2.12 - SEPARATION OF EQUIPMENT</p> <p>CLAUSE C 3.8 - OPENING IN FIRE ISOLATED EXITS</p> <p>CLAUSE D 1.10 - DISCHARGE FROM EXITS</p> <p>CLAUSE D 2.7 - INSTALLATIONS IN EXITS AND PATHS OF TRAVEL</p> <p>CLAUSE D 2.11 - GORGES AND RISERS</p> <p>CLAUSE D 2.15 - THRESHOLDS</p> <p>CLAUSE D 2.16 - BALUSTRADES</p>	<p>CLAUSE D 2.17 - HANDRAILS</p> <p>CLAUSE D 2.21 - OPERATION OF LATCH</p> <p>CLAUSE D 2.23 - SIGNS ON DOORS</p> <p>CLAUSE D 3.2 - GENERAL BUILDING ACCESS</p> <p>CLAUSE D 3.3 - PARTS OF BUILDING TO BE ACCESSIBLE</p> <p>CLAUSE D 3.8 - IDENT. OF ACCESSIBLE FACILITIES/FEATURES</p> <p>CLAUSE F 1.7 - WATERPROOFING OF WET AREAS</p> <p>CLAUSE F 1.9FT. 10 - DAMP PROOFING</p> <p>CLAUSE 2.5 - CONSTRUCTION OF SANITARY COMPARTMENTS</p> <p>PART F4 - LIGHTING AND VENTILATION</p> <p>CLAUSE F 5.4 - SOUND INSULATION OF FLOORS</p> <p>CLAUSE F 5.5 - SOUND INSULATION OF WALLS</p> <p>CLAUSE D 2.14 - LANDINGS</p> <p>CLAUSE F 5.7 - SOUND INSULATION OF PUMPS</p>	<p>ARTIFICIAL LIGHTING: TO COMPLY WITH BCA PART CLAUSE F 4 & AS1680</p> <p>BALUSTRADE HEIGHTS: TO COMPLY WITH BCA CLAUSE D 2.16</p> <p>CLAUSE D 2.23 - SIGNS ON DOORS</p> <p>ENERGY EFFICIENCY: TO COMPLY WITH 22 OF BCA</p> <p>FIRE SERVICES: TO COMPLY WITH SECTION E OF BCA</p> <p>HOT WATER: SYSTEMS TO COMPLY WITH PART J7 OF BCA</p> <p>MASONRY: TO COMPLY WITH AS3700</p> <p>MECHANICAL AIRCONDITIONING: TO COMPLY WITH PART J5 OF BCA</p> <p>MECHANICAL EXHAUST VENTILATION: TO COMPLY WITH AS1668 & AS3700</p> <p>SMOKE ALARMS: TO COMPLY WITH BCA PART CLAUSE & SPEC E2.2 & AS3700</p> <p>PENETRATIONS: THROUGH FIRE RATED CONSTRUCTION FOR MECHANICAL/HYDRAULIC PENETRATIONS TO COMPLY WITH BCA CLAUSE C 3.15 & AS1530.4:2005</p> <p>SOUND TRANSMISSION: TO COMPLY WITH PARTS OF BCA</p> <p>STAR CONSTRUCTION: TO COMPLY WITH BCA CLAUSE D 2.13</p> <p>WATERPROOFING OF WET AREAS: TO COMPLY WITH AS3740</p>
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STANDARD SPECIFICATION

BE ADVISED : SOME CLAUSES IN THIS SPECIFICATION MAY NOT BE RELEVANT TO THIS PROJECT

1.0 GENERAL

- 1.1
- ALL DIMENSIONS SHALL BE CHECKED ON SITE PRIOR TO COMMENCEMENT ANY WORK.
- 1.2
- ALL MATERIALS SHALL COMPLY WITH RELEVENT CURRENT AUSTRLIAN STANDARDS AND SHALL BE NEW AND THE BEST OF THEIR RESPECTIVE KINDS AND SUITABLE FOR THEIR INTENDED PURPOSES.
- 1.3
- ALL WORKMANSHIP SHALL COMPLY WITH RELEVENT CURRENT AUSTRALIAN STANDARDS AND TO GOOD TRADE PRACTICES.
- 1.4
- ALL WORK SHALL BE IN ACCORDANCE WITH REQUIREMENTS OF THE RESPECTIVE AUTHORITY HAVING JURISDICTION OVER THE WORKS.
- 1.5
- THE ARCHITECTURAL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH THE SPECIFICATION, SCHEDULES AND CONSULTANTS DRAWINGS THAT FORMS PART OF THE CONSTRUCTION DOCUMENTS REFERRED TO IN THE "BUILDING CONTRACT."
- 1.6
- DO NOT SCALE FROM DRAWINGS. NOTIFY OF ANY ERRORS OR OMISSIONS BEFORE PROCEEDING WITH ANY WORKS.
- 1.7
- ENSURE THAT BACKGROUNDS ARE SUITABLE FOR THE INTENDED SUBSEQUENT FINISHES. COMMENCEMENT OF WORK ON THE BACKGROUNDS IMPLIES ACCEPTANCE BY THE SUBCONTRACTOR OF THE BACKGROUNDS ON WHICH FINISHES ARE APPLIED.
- 1.8
- SUPPLY ALL EQUIPMENT NECESSARY FOR THE COMPLETION OF RESPECTIVE WORKS.
- 1.9
- PROGRESSIVELY CLEAN UP AFTER THE COMPLETION OF RESPECTIVE WORKS.

2.0 EARTHWORKS

- 2.1
- UNLESS OTHERWISE STATED, REMOVE TOPSOIL TO A MINIMUM DEPTH OF 200mm INCLUDING ALL ROOTS, AND OTHER MATTER, AND REQUIRED BY THE SOIL CONDITION AND/OR THE BUILDER. PROVIDE SUITABLE CLEAN FILLING SAND AND COMPACT IN LAYERS NOT GREATER THAN 300mm TO REDUCE LEVELS AS SHOWN.
- 2.2
- COMPACT SAND FILLING AND SANDY SUB GRADES UNDER FOOTINGS AND SLAB TO OBTAIN MIN. SEVEN (7) BLOWS PER 300mm ON A STANDARDS PERTH SAND PENEFROMETER TEST (AS PER AS 1289 F3.3)
- 2.3
- DO NOT EXCAVATE SERVICES TRENCHES WITHIN AN ANGEL OF 45 DEGREES DOWN FROM BOTTOM EDGE OF FOOTING.
- 2.4
- ALL RETAINING WALLS TO BE TREATED WITH "BITKOTE" WATERPROOFING AGENT.

3.0 CONCRETE

- 3.1
- CONCRETE REINFORCEMENT AND FORMWORK SHALL BE TO A STRUTURAL ENGINEERS DETAILS, RELEVANT BUILDING CODES AND STANDARDS
- 3.2
- ALL CONCRETE TO CONFORM TO THE REQUIREMENTS OF AS 3600 CONCRETE STRENGTH GRADE: N20, AGGREGATE 20mm, SLUMP 80mm.
- 3.3
- SLAB IS TO BE CURED FOR 7 DAYS MIN. & SLAB REINFORCEMENT PLACED ON APPROVED CHAIRS TO IMPROVE CRACK CONTROL.
- 3.4
- THE FOOTING AND SLAB CONSTRUCTION IS TO COMPLY WITH AS 2870.
- 3.5
- PROVIDE A PROPRIETARY VAPOR BARRIER WHICH CONSISTS OF HIGH IMPACT RESISTANT POLYTHENE FILM MIN. 0.2mm THICK WHICH HAS BEEN PIGMENTED AND BRANDED BY THE MANUFACTURER.
- 3.6
- TERMITE PROTECTION:
PROVIDE ANTI-TERMITE TREATMENT UNDER THE BUILDING AREAS IN ACCORDANCE WITH AS 2057, AS 3660.1 AND APPENDIX D, FOR RETICULATED SYSTEMS. BUILDER SHALL PROVIDE "DURSBAN" (HAND SPRAYED ORGANO-PHOSPHATE) OR SIMILAR APPROVED ANTI-TERMITE TREATMENT IN ACCORDANCE WITH REELEVANT AUSTRALIAN STANDARD CODES.

4.0 BRICKWORK

- 4.1
- BRICK WORK SHALL COMPLY WITH :

AS 3700 MASONRY CODE

AS A123 MASONRY CODE

MORTAR FOR MASONRY CONSTRUCTION
- 4.2
- BRICK GAUGE 7 STANDARD COURSES = 600mm.
- 4.3
- ALL BRICKS SHOULD HAVE MIN. COMPRESSIVE STRENGTH OF 20MPa AND AS FOLLOWS:

EXTERNAL FACE WORK: 230x110x76mm

EXTERNAL RENDER: 305x162x90mm MAXIBRICK OR VERTICORE

WINDOW SILLS: 2c FACE BRICK SPLAYED SILLS

WINDOW HEADS: SOLID FACEBRICK COURSE

INTERNAL WALLS: 305x162x90mm MAXIBRICK OR VERTICORE
WITH BED JOINT AND PERPENDS FILLED
305x76x90mm LONGREACH OR JUMBO FOR COURSE ADJUSTMENT
- 4.4
- MORTAR: 1:1:6 CEMENT:LIME:SAND
MORTAR (FACE BRICK) COLOR TO MATCH EXISTING AS SELECTED

- 4.5
- TIES SHALL BE 3.5mm DIAMETER GALVANIZED WIRE KINKED FOR AND BUILT IN EVERY 5TH COURSE AT APPROXIMATELY 900mm CENTRES. WITH ADDITIONAL TIES AT THE RATE OF 1 TIE/300mm HEIGHT OF OPENINGS AND VERTICAL CONTROL JOINTS AND WITHIN 150mm OF THE OPENINGS. BUILD TIES INTO EACH LEAF AT LEAST 50mm. VERTICAL CONTROL JOINTS SHALL BE 12mm WIDE

FILLED AT COMPLETION WITH 'COMPRIBAND' CONTINUOUS FILLER STRIP.
- 4.6
- KEEP CAVITIES CLEAR OF MORTAR. PROVIDE CAVITY BOARDS. TEMPORARILY OMIT BRICKS TO PERMIT RAKING OUT OF CAVITY BOTTOMS.
- 4.7
- FORM WEEP HOLES EVERY FOURTH PERPEND ABOVE FLASHINGS AND CAVITY FILL. KEEP CLEAR OF MORTAR. DO NOT LOCATE WEEPHOLES CLOSER THAN 500mm TO JOINTS IN DAMP PROOF COURSES OR FLASHINGS.
- 4.8
- PROVIDE DAMP PROOF COURSES (DPC) IN THE BOTTOM 3 COURSES OF BRICK WORK AND SLAB AND/OR FOOTINGS. DPC ADDITIVE SHALL BE CLEAR IN ALL FACEWORK
- 4.9
- SETOUT BRICKWORK ACCURATELY, PLUMB, LEVEL AND PROPERLY BONDED. RISING WORK TO BE RAKED BACK, JAMBS, REVEALS, CORNERS, PERPENDS, ETC. TO BE TRUE, PLUMB, AND IN LINE WITH PERPENDS TRUE TO LINE. SETOUT DOOR FRAMES NEAR PERPENDICULAR WALL WITH A MARGIN OF 12mm OR GREATER THAN 50mm.
- 4.10
- MOISTEN ALL EXTRUDED BRICKS BEFORE LAYING.
- 4.11
- PROVIDED 12mm PLASTERING MARGIN BETWEEN WINDOW FRAME AND INTERNAL BRICKWORK TO BE PLASTERED.
- 4.12
- WHERE NECESSARY REINFORCE BELOW AND OVER OPENINGS WITH GALVANISED WOVEN WIRE FABRIC 75mm WIDE IN CENTRE OF EACH LEAF LOCATED IN 2 COUSES BELOW SILL AND IN THE 2 COURSES ABOVE AN OPENING EXTENDING A MINIMUM OF 600mm BEYOND THE OPENING.
- 4.13
- BUILD IN ALCOR/PGI FLASHINGS AS FOLLOWS:
-WHEREVER SHOWN ON DRAWINGS.
-CAVITY WALLS BUILT OF SLAB ON GROUND (WHERE NOT PARGED.)
-OVER LINTELS TO EXPOSED OPENINGS:

FULL WIDTH OF OUTER LEAF CONTINUOUS ACROSS CAVITY 50mm INTO INNER LEAF 2c ABOVE.

-OVER ROOF:

FULL WIDTH OF EXTERAL LEAF, STEPPED TO ROOF SLOPE TURNED DOWN MIN. 50mm OVER BASE FLASHING. TURN UP IN CAVITY SLOPING INWARDS AND BUILT INTO INNER LEAF 1c ABOVE.

-DOOR / WINDOW STILES:

FULL HIGHT 150mm WIDE FIXED TO FRAMES INTERLEAVED WITH SILL AND HEAD FLASHING AT EACH END.

-STRUCTURE OR SERVICES WITHIN 30mm OF OUTER BRICK LEAF IN CAVITY:

VERTICAL FLASHINGS CONTINUOUS 1c BELOW FL TO ABOVE STRUCTURE OR FRAME. NOMINAL 300mm WIDE. FOR HORIZONTAL STRUCTURES / SERVICES: CONTINUOUS FLASHING BUILT IN AS FOR OVER LINTELS.

-AT CAVITY WALLS WITH GLASS BLOCK 300mm WIDE FIXED TO GLASS BLOCK FRAME AND TURNED AWAY IN CAVITY FROM INNER LEAVE.

4.14 LINTELS

MAX SPAN (mm)	LINTELS SIZE (VERT x HORIZ x THICK)	BEARING EACH END (mm)
900	75x10	150
1200	75x75x8	150
1500	90x90x8	150
1800	100x75x8	230
2100	125x75x8	230
2400	125x75x10	230
2500	100x100x8	230
3000	150x90x10	230

5.0 CARPENTRY WORK

- 5.1
- ROOF AND CEILING FRAMING SHOULD COMPLY WITH AS 1684 LIGHT TIMBER FRAMING CODE. DRAW STRAP FIRMLY OVER WALL PLATES AND SECURELY FIX TO TOP OF PLATE BY 2x30mm GALV. CLOUTS/STRAP.
- 5.2
- REFER TO AS 1684 FOR ROOF FRAMING SIZES UNLESS SPECIFIED ON DRAWINGS.
- 5.3
- SUPPLY AND FIX ALL BULKHEADS & FALSE CEILINGS AS SHOWN ON THE DRAWINGS.

6.0 METALWORK

- 6.1
- ELECTRIC AND GAS METER BOXES AS SHOWN IN DRAWINGS
- 6.2
- WINDOW FRAMES SHALL BE RESIDENTIAL OR COMMERCIAL SECTION WITH POWDERCOAT FINISH AS SELECTED BY OWNER. ALLOW FOR FLYSCREENS TO ALL WINDOWS. REFER TO ADDENDUM. ANGLED WINDOW UNITS SHALL BE FACTORY MADE AND FIXED AND DELIVERED ON SITE AS COMPLETE UNIT.
- 6.3
- CLOTHES HOIST: REFER TO ADDENDUM.
- 7.1
- SELECTED ROOFING MATERIAL SHALL BE INSTALLED AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND RELEVANT BUILDING CODES
- 7.2
- GUTTER, FASCIA, DOWN PIPES, FLASHINGS SHALL BE IN LONGEST POSSIBLE LENGTHS AND SHALL MATCH EXISTING.
- 7.3
- DOWN PIPES SHALL MATCH EXISTING.
- 7.4
- ALLOW FOR ALL JOINTS AND JOINING MATERIALS, COLLARS, STRAPS & FASTENINGS NECESSARY TO COMPLETE WORK.
- 7.5
- ALLOW FOR ALL ROOF PENETRATIONS, ROOF COWLS, FLASHINGS, FLUMES THROUGH ROOF.
- 7.6
- FIX GUTTERS & FLASHINGS TO PERMIT THERMAL MOVEMENT IN THEIR FULL LENGTH
- 7.7
- SEAL BETWEEN OVERLAPPING FLASHINGS; FLASHINGS TURNED DOWN OVER BASE OR APRON FLASHINGS; FLASHINGS OVER METAL ROOF; FLASHINGS OVER SECRET GUTTERS; AROUND ROOF PENETRATIONS ETC.

7.0 ROOFING

- 7.1
- SELECTED ROOFING MATERIAL SHALL BE INSTALLED AND FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION AND RELEVANT BUILDING CODES
- 7.2
- GUTTER, FASCIA, DOWN PIPES, FLASHINGS SHALL BE IN LONGEST POSSIBLE LENGTHS AND SHALL MATCH EXISTING.
- 7.3
- DOWN PIPES SHALL MATCH EXISTING.
- 7.4
- ALLOW FOR ALL JOINTS AND JOINING MATERIALS, COLLARS, STRAPS & FASTENINGS NECESSARY TO COMPLETE WORK.
- 7.5
- ALLOW FOR ALL ROOF PENETRATIONS, ROOF COWLS, FLASHINGS, FLUMES THROUGH ROOF.
- 7.6
- FIX GUTTERS & FLASHINGS TO PERMIT THERMAL MOVEMENT IN THEIR FULL LENGTH
- 7.7
- SEAL BETWEEN OVERLAPPING FLASHINGS; FLASHINGS TURNED DOWN OVER BASE OR APRON FLASHINGS; FLASHINGS OVER METAL ROOF; FLASHINGS OVER SECRET GUTTERS; AROUND ROOF PENETRATIONS ETC.

8.0 JOINERY

- 8.1
- ALL JOINERY SHALL BE OF HIGHEST QUALITY MATERIALS TO BEST TRADE PRACTICES AND HIGH QUALITY FINISH.
- 8.2
- EXTERNAL DOOR FRAMES SHALL BE: 110x40 DOUBLE REBATED FRAME WITH 130x40 WEATHERED THRESHOLD U.N.O.
- 8.3
- SUPPLY AND BUILD IN TIMBER DOOR FRAMES TO EXTERNAL LOCATIONS AS SHOWN ON ARCHITECTURAL DRAWINGS.

9.0 CEILINGS

- 9.1
- CEILINGS SHALL BE RECESSED EDGE, MINIMUM 8.0mm PLASTERGLASS OR GYPROCK.
- 9.2
- FLUSH JOINTS, SCREW HEADS, AND OTHER BLEMISHES IN THE SHEETS USING APPROVED SYSTEMS TO PROVIDE FLUSH SMOOTH CONTINUOUS SURFACE
- 9.3
- PROVIDE AND FIX ALL FLUSH STOP BEADS & CASING BEADS TO ALL CORNERS & EDGES.
- 9.4
- PROVIDE ALL SELECTED MOLDINGS AND CORNICES TO ALL CEILINGS AS STATED IN ARCHITECTURAL DOCUMENTS.

10.0 PLASTERING

- 10.1
- INTERNAL WALL FINISHES INCLUDING CUPBOARD, BIN, & FRIDGE RECESSES, ETC. SHALL BE (OTHER THAN FACE FINISHES OR WHERE COVERED BY FEATURE MATERIALS) FLOAT AND SET IN HARDWALL PLASTER U.N.O.
- 10.2
- PLASTERED WALLS SHALL BE NOMINAL 12mm THICK CONSISTING OF 1:1:9, CEMENT:LIME:SAND RENDER, AND FINISHED WITH NOMINALLY 3mm HARDWALL PLASTER.
- 10.3
- SUPPLY AND FIX EXTERNAL CORNER BEADS TO ALL EXTERNAL CORNERS.
- 10.4
- PROVIDE STOP BEADS WHERE PLASTER WORK ABUTS TIMBER FRAMES, OR FACEWORK
- 10.5
- EXTERNAL RENDER WHEN APPLICABLE SHALL BE 2 COAT SAND FINISH. (FOR PAINTING)
- 10.6
- NIBS IN INTERNAL CORNERS ADJACENT TO DOOR FRAMES GREATER THAN 40mm SHALL NOT BE FLUSHED UP WITH FRAMES.
- 10.7
- PROVIDE V-JOINTS IN RENDER & FINISHING PLASTER WHERE BRICK WORK ABUTS OR JOINS ONTO CONCRETE WORK.

11.0 GLAZING

- 11.1
- CLEAR GLASS GENERALLY: OBSCURE GLASS TO BATHROOMS, REFER TO DRAWINGS. ALL TO THE RELEVANT AUSTRALIAN STANDARDS.
- 11.2
- WHERE GLASS BLOCKS HAVE BEEN NOMINATED, THEY SHALL BE IN FRAMES AND INSTALLED TO MANUFACTURES SPECIFICATIONS.

12.0 FLOORING FINISHES

- 12.1
- CARPET FLOOR COVERINGS TO NOMINATED AREAS COMPLETE WITH SELECTED UNDERLAY SMOOTH EDGE, DIMINISHING STRIPS ETC. TO COMPLETE THE WORKS: REFER TO DRAWINGS & FINISHES SCHEDULE.
- 12.2
- PROVIDE TILED FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS ANGLE TRIMS, ETC.TO COMPLETE THE WORKS: REFER TO DRAWINGS & FINISHES SCHEDULE.
- 12.3
- PROVIDE TIMBER FLOOR FINISHES TO NOMINATED AREAS COMPLETE WITH ALL MATERIALS. DIMINISHING BOARDS ETC. TO COMPLETE THE WORKS: FLOOR BOARDS TO BE SANDED & POLISHED TO HIGH STANDARD WITH PREMIUM QUALITY SEALER (2 COATS). REFER TO DRAWINGS & FINISHERS SCHEDULE.

13.0 SIGNAGE

- 13.1
- WHERE NECESSARY SUPPLY & FIX SELECTED UNIT AND HOUSE NUMBERS TO EACH UNIT AND TO LETTERBOXES AS SCHEDULED.
- 13.2
- "SUPERDRAFT" RESERVES THE RIGHT TO ERECT A BUILDERS SIGN ON THE PROPERTY FACING THE STREET FRONTAGE IN COMPLIANCE WITH AUTHORITY REQUIREMENTS.

14.0 PAVING

- 14.1
- GENERALLY: WHEN PAVING IS INCLUDED IN THE BUILDING CONTRACT, THE FOLLOWING SHALL APPLY AS A MINIMUM STANDARD
- 14.2
- SUPPLY AND LAY ALL PAVING TO EXTERNAL AREAS AS SHOWN ON WORKING DRAWINGS.
- 14.3
- CUT, FILL AND COMPACT SAND TO REQUIRED LEVELS. SCREED TO UNIFORM THINNESS AND LEVELS
- 14.4
- PROVIDE BRICK EDGE-RETRAINING FOOTING EMBEDDED IN MORTAR BENEATH THE PAVING BRICK, GENERALLY. TO DRIVEWAY AREAS, PROVIDE NOMINAL 300x150mm CONCRETE FOOTING ALONG PERIMETER OF DRIVEWAY AND BED EDGE BRICK IN MORTAR.
- 14.5
- PROVIDE 100mm COMPACTED LIMESTONE BASE TO DRIVEWAY TOPPED WITH 50mm CLEAN SAND AND GRADE TO FALLS.
- 14.6
- PAVING PATTERN: REFER TO ADDENDUM.
- 14.7
- BRICK PAVERS SHALL BE:
TRAFFICABLE AREAS: MIN. 65mm SOLID CLAY OR CONCRETE
PEDESTRIAN AREAS: MIN. 43mm SOLID CLAY OR CONCRETE

NOTE:
Do not scale off this drawing. Use figured dimensions only. All building works must be set out by a registered surveyor prior to the commencement of construction. All works along boundary must be wholly within the site. Any existing encroachments must be notified immediately. Any works above existing encroachments must be wholly within the site. The builder shall check & verify all dimensions, notations and the like on site prior to the commencement of any building and/or earthworks. Should any discrepancy between the documentation and any other written document directly related to this project arise, the builder shall notify the architect in writing, immediately for resolution.

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No.	Date	Revision	By
A	07/09/23	DA	AA



Level 1, 5 George St, North Strathfield 2137 NSW 1300 024 483 www.beehivedesign.com.au ABN: 55 644 232 708

SITE ADDRESS: **36 MIOWERA RD, CHESTER HILL NSW**
CLIENT: TD
LOT: SEC: DP: COUNCIL:
136 16897 Canterbury-Bankstown
PROJECT TYPE:
Secondary Dwelling

DRAWING: **Specification Page**

DRAWN BY: A.Alzaidy
CHECKED BY: A.Amirashairi
ISSUED FOR: DATE: 29/08/23
Issued for DA

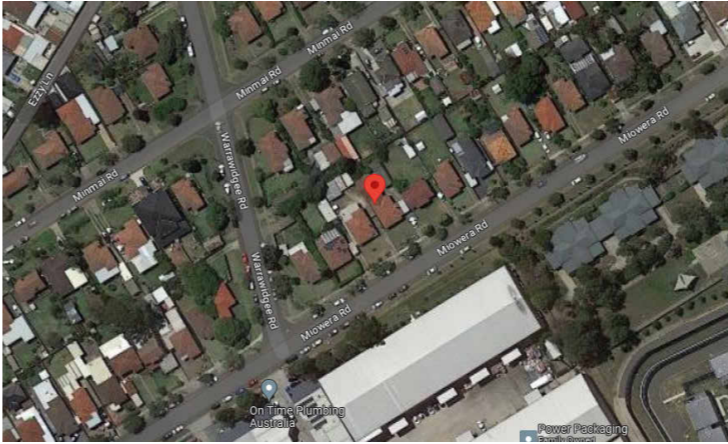
SHEET NO: **01**
SCALE: 1 : 100
REVISION: **A**

PROJECT NO : P-137

DEVELOPMENT DATA

LOT SIZE: 551.8m²		
Canterbury-Bankstown Local Environmental Plan 2023		
Compliance	Provided	Comply
Land Use Table		
R2 Low Rise Density Residential	R2 Dwelling houses	R2 Y
Part 4 Principaal Developmentb Standards		
4.3 Height of Building (1)(b) to maintain the prevailing suburban character and amenity by limiting the height of development to a maximum of 2 storeys in Zone R2 (f) to support building design that contributes positively to the streetscape and visual amenity of an area.	4.3(1)(b) less than 2 storeys (f) meets standards of the area in provided document	4.3(1)(b) Y (f) Y
Canterbury-Bankstown Development Control Plan 2023		
Compliance	Provided	Comply
Section 3 - Secondary Dwellings		
3.1 A secondary dwelling is permissible on a site with a minimum lot size of 450sqm	3.1 Site area 551.8sqm	3.1 Y
3.2(b) Total floor area of the secondary dwelling no more than 60sqm	3.2 (b) Existing shed (to be converted to secondary dwelling) floor area is 37.2sqm	3.2 Y
3.3 The storey limit for detached secondary dwellings is single storey and maximum wall height is 3m	3.3 Exsting shed wall height is 2.7m	3.3 Y
3.10 Minimum side and rear boundary setback 0.9m	3.10 See ground floor plan.	3.10 N/A

ARIEL MAP



LOCATION MAP



SHEET SCHEDULE

00	Cover Page
01	Specification Page
02	Title Page
03	Site Plan
03.1	Site Analysis
03.2	Basix Certificate
04	Ground Floor Plan - Existing
05	Ground Floor Plan - Proposed
06	Elevations - 01
07	Elevations - 02
08	Sections
09	Neighbour Notification
10	21 June 8am
11	21 June 12pm
12	21 June 4pm
13	23 September 8am
14	23 September 12pm
15	23 September 4pm

NOTE:
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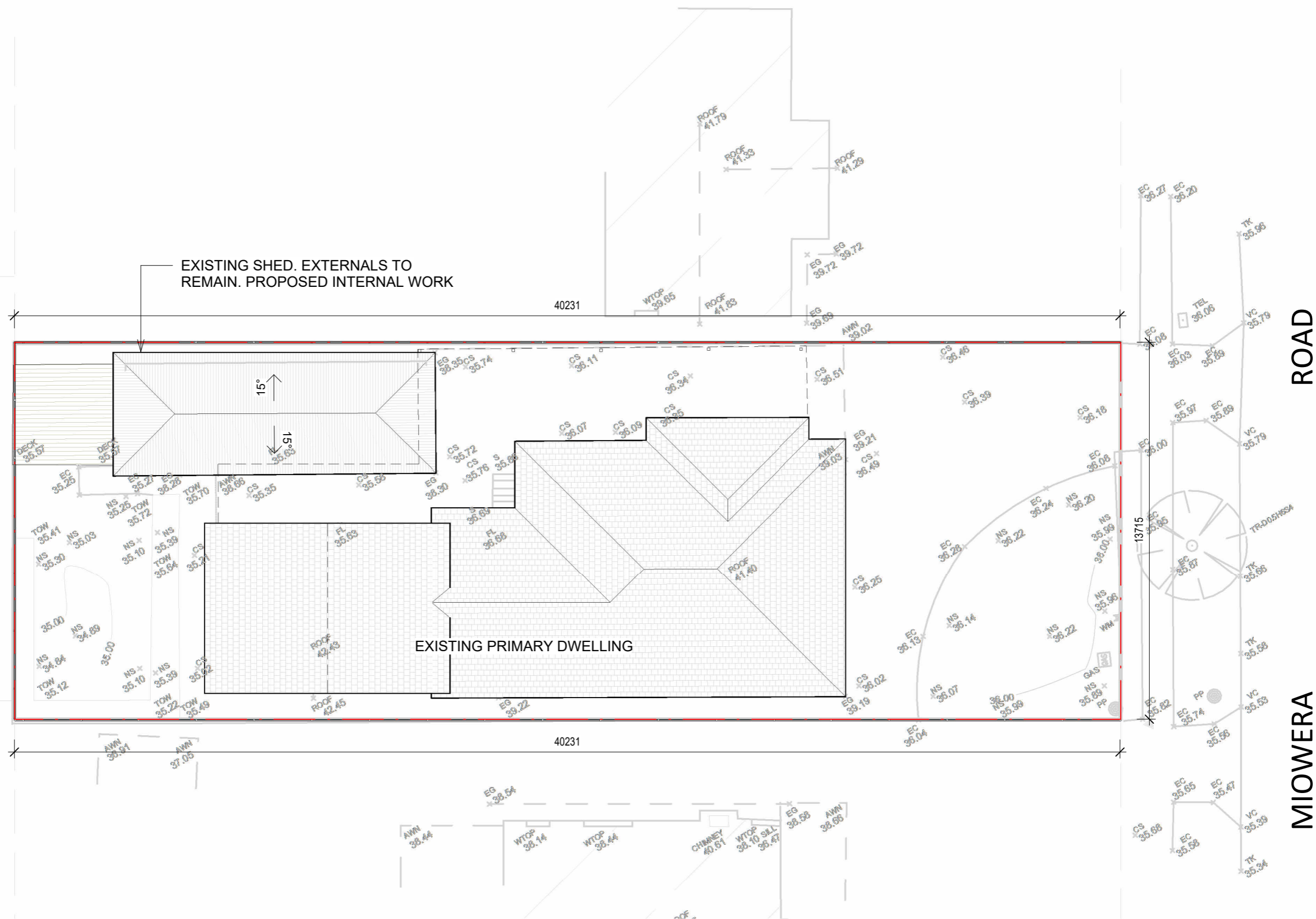
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PROJECT TYPE:
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DRAWING: Title Page
DRAWN BY: A.Alzaidy
ISSUED FOR: Issued for DA
CHECKED BY: A.Amirashairi
DATE: 29/08/23
SHEET NO: 02
SCALE: 1 : 100
REVISION: A

PROJECT NO: P-137



Site Area	551.8sqm
Total Hard Surface	217sqm
Total Landscape	117sqm
Shed Area	37.2sqm

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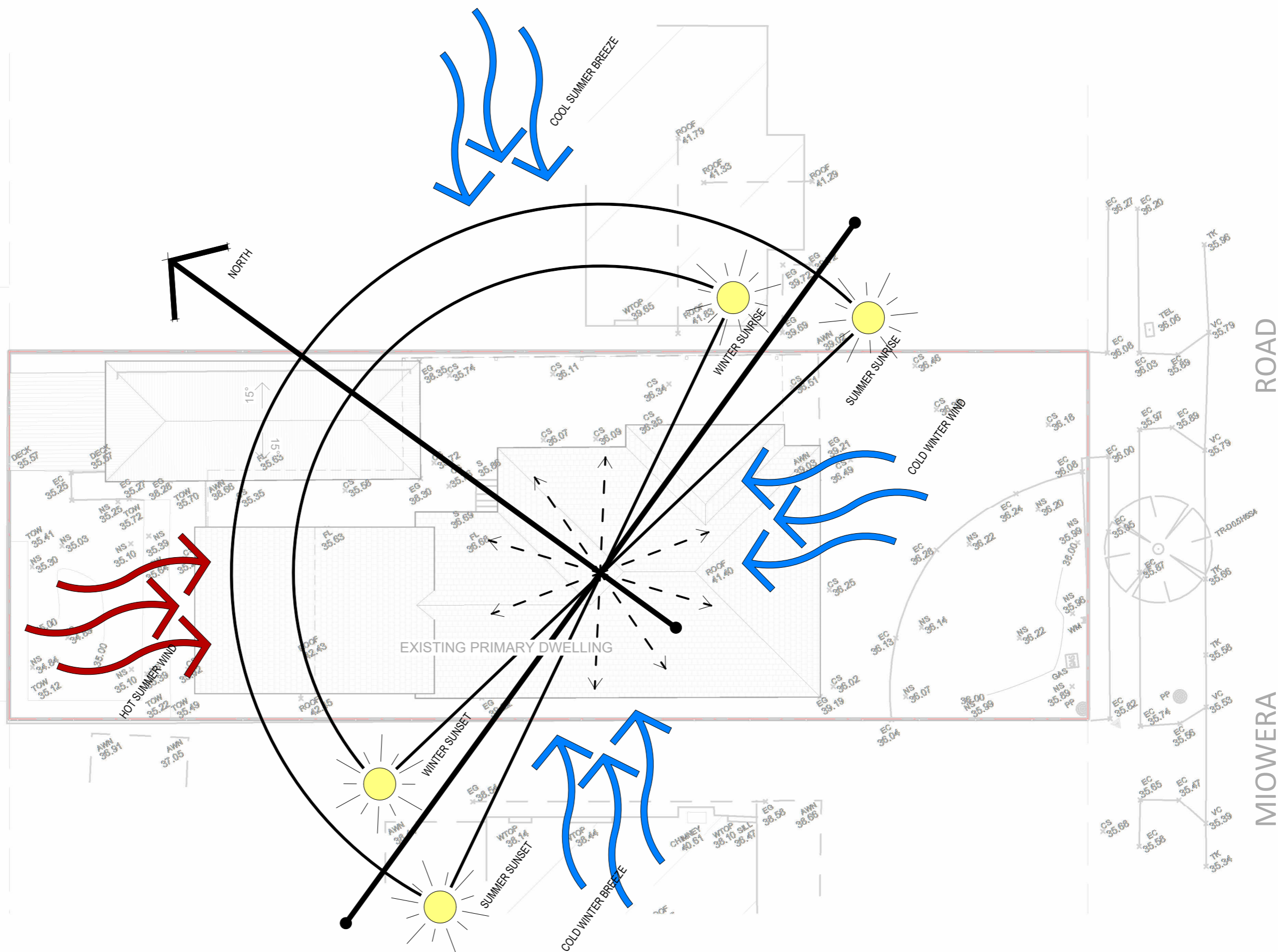
BEEHIVE
DESIGN

SITE ADDRESS: **36 MIOWERA RD, CHESTER HILL NSW**
 CLIENT: TD
 LOT: SEC: DP: COUNCIL:
 136 16897 Canterbury-Bankstown
 PROJECT TYPE:
 08 Secondary Dwelling

SHEET NO:
03
SCALE:
1 : 150
REVISION:
A

PROJECT NO: P-137

1 EXISTING SITE PLAN



SITE ANALYSIS

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This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 25 September 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary			
Project name	[P-137] - 36 Mowera Rd, Chester Hill		
Street address	36 mowera Road chester hill 2162		
Local Government Area	Canterbury-Bankstown Council		
Plan type and plan number	deposited 16897		
Lot no.	136		
Section no.	-		
Project type	separate dwelling house - secondary dwelling		
No. of bedrooms	1		
Project score			
Water	✓ 42	Target 40	
Thermal Comfort	✓ Pass	Target Pass	
Energy	✓ 52	Target 50	

Certificate Prepared by	
Name / Company Name: Beehive Design Pty Ltd	
ABN (if applicable): 55644232708	

Description of project

Project address	
Project name	[P-137] - 36 Mowera Rd, Chester Hill
Street address	36 mowera Road chester hill 2162
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan 16897
Lot no.	136
Section no.	-
Project type	
Project type	separate dwelling house - secondary dwelling
No. of bedrooms	1
Site details	
Site area (m²)	552
Roof area (m²)	53
Conditioned floor area (m2)	32.1
Unconditioned floor area (m2)	5.2
Total area of garden and lawn (m2)	30
Roof area (m2) of the existing dwelling	210
No. of bedrooms in the existing dwelling	4

Assessor details and thermal loads			
Assessor number	n/a		
Certificate number	n/a		
Climate zone	n/a		
Area adjusted cooling load (MJ/m².year)	n/a		
Area adjusted heating load (MJ/m².year)	n/a		
Ceiling fan in at least one bedroom	n/a		
Ceiling fan in at least one living room or other conditioned area	n/a		
Project score			
Water	✔ 42	Target 40	
Thermal Comfort	✔ Pass	Target Pass	
Energy	✔ 52	Target 50	

Thermal Comfort Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights						
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.				✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.				✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:				✓	✓	✓
• For the following glass and frame types, the certifier check can be performed by visual inspection.						✓
- Aluminium single clear						
- Aluminium double (air) clear						
- Timber/PVC/fibreglass single clear						
- Timber/PVC/fibreglass double (air) clear						
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing	
North-East facing						
EW01	855	1359	aluminium, single, clear	eave 300 mm, 540 mm above head of window or glazed door	not overshadowed	
EW02	914	902	aluminium, single, clear	eave 300 mm, 540 mm above head of window or glazed door	not overshadowed	
EW03	1030	1215	aluminium, single, clear	eave 300 mm, 540 mm above head of window or glazed door	not overshadowed	

Energy Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water						
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 36 to 40 STCs or better.				✓	✓	✓
Cooling system						
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans; Energy rating: n/a					✓	✓
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.					✓	✓
Heating system						
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.					✓	✓
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.					✓	✓
Ventilation						
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a					✓	✓
Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a					✓	✓
Laundry: natural ventilation only, or no laundry; Operation control: n/a					✓	✓
Artificial lighting						
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: • at least 1 of the bedrooms / study; dedicated • at least 1 of the living / dining rooms; dedicated • the kitchen; dedicated					✓	✓

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 30 square metres of the site.	✓	✓	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 Lit/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 6 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 6 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 6 star in each bathroom in the development.		✓	

Thermal Comfort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features				
The dwelling must not have more than 2 storeys.		✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.		✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.			✓	✓
The dwelling must not contain third level habitable attic room.			✓	✓
Floor, walls and ceiling/roof				
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.		✓	✓	✓
Construction	Additional insulation required (R-Value)	Other specifications		
floor - concrete slab on ground	nil			
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)			
ceiling and roof - flat ceiling / pitched roof	ceiling: 3.5 (up); roof: foil/sarking	gable end vents; medium (solar absorbance 0.475-0.70)		
Note - Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.				
Note - In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.				

Energy Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all bathrooms/toilets; dedicated					✓	✓
• the laundry; dedicated					✓	✓
• all hallways; dedicated					✓	✓
Natural lighting						
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.				✓	✓	✓
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.				✓	✓	✓
Other						
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.					✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.					✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or final) for the development may be issued.

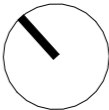
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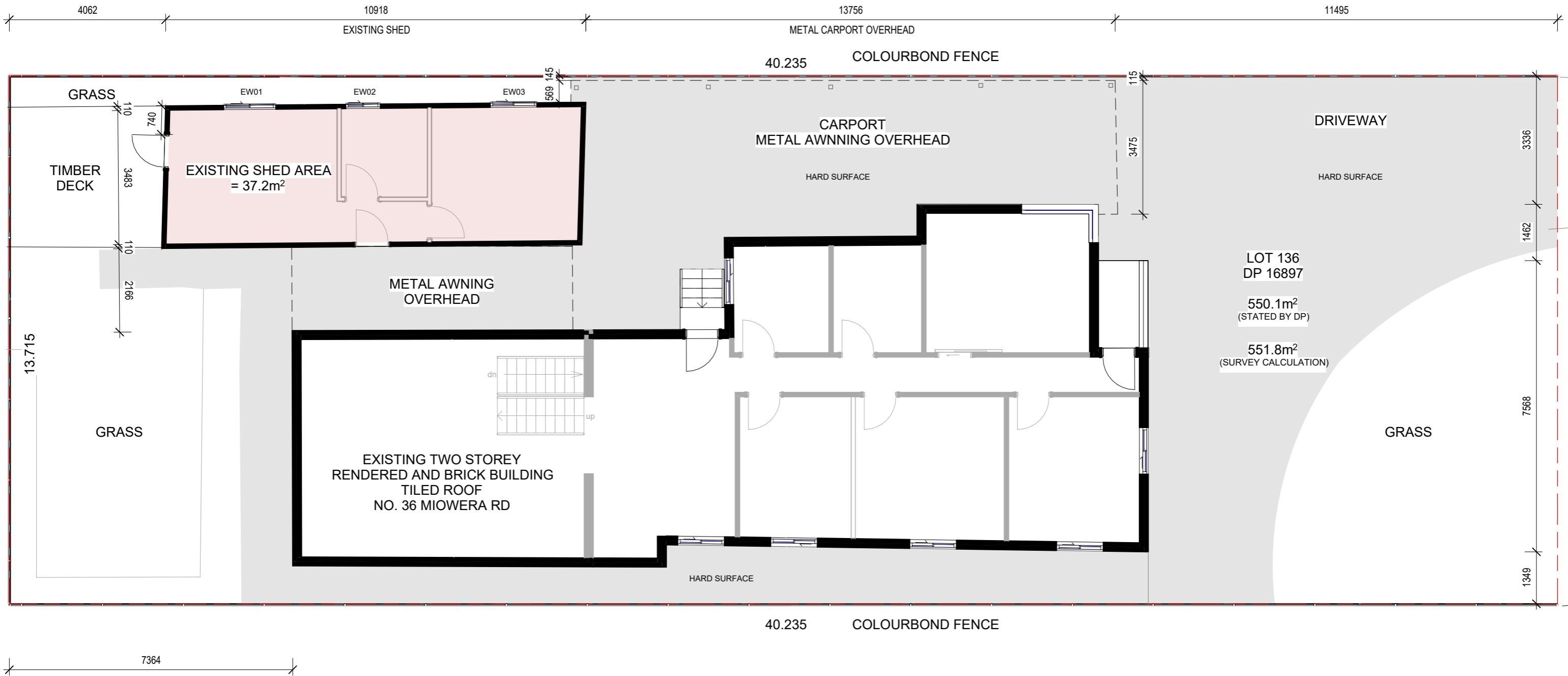


SITE ADDRESS: **36 MIOWERA RD, CHESTER HILL NSW**
CLIENT: TD
LOT: SEC: DP: COUNCIL:
136 16897 Canterbury-Bankstown
PROJECT TYPE:
Secondary Dwelling



DRAWING: **Basix Certificate**
DRAWN BY: A.Alzaidy
ISSUED FOR: Issued for DA
CHECKED BY: A.Amirashairi
DATE: 29/08/23

SHEET NO: **03.2**
SCALE:
REVISION: **A**



DATA DEVELOPMENT	
Site Area	551.8sqm
Total Hard Surface	217sqm
Total Landscape	117sqm
Shed Area	37.2sqm

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BEEHIVE
DESIGN

Level 1, 5 George St, North Strathfield 2137 NSW 1300 024 483 www.beehivedesign.com.au ABN: 55 644 232 708

SITE ADDRESS: **36 MIOWERA RD, CHESTER HILL NSW**
CLIENT: TD
LOT: SEC: DP: COUNCIL:
136 16897 Canterbury-Bankstown
PROJECT TYPE:
Secondary Dwelling



DRAWING: **Ground Floor Plan - Existing**
DRAWN BY: A.Alzaidy
ISSUED FOR: Issued for DA
CHECKED BY: A.Amirashairi
DATE: 29/08/23
SHEET NO: **04**
SCALE: 1 : 100
REVISION: **A**

PROJECT NO: P-137

1 GROUND FLOOR PLAN - EXISTING

1 : 100

PROPOSED INTERNAL WORKS TO EXISTING SHED. CHANGE OF USE FROM SHED TO SECONDARY DWELLING.

SHED RIDGE 39.110 RL

SHED GFCL 38.350 RL

EXISTING SHED GFL 35.630 RL

752
2720

RL 42.240 BACK OF HOUSE ROOF

EXISTING TWO STOREY
RENDERED AND BRICK
BUILDING
TILED ROOF
NO. 36 MIOWERA RD

1

North Elevation - Rear elevation

1 : 100



2

West Elevation

1 : 100

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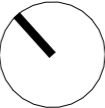
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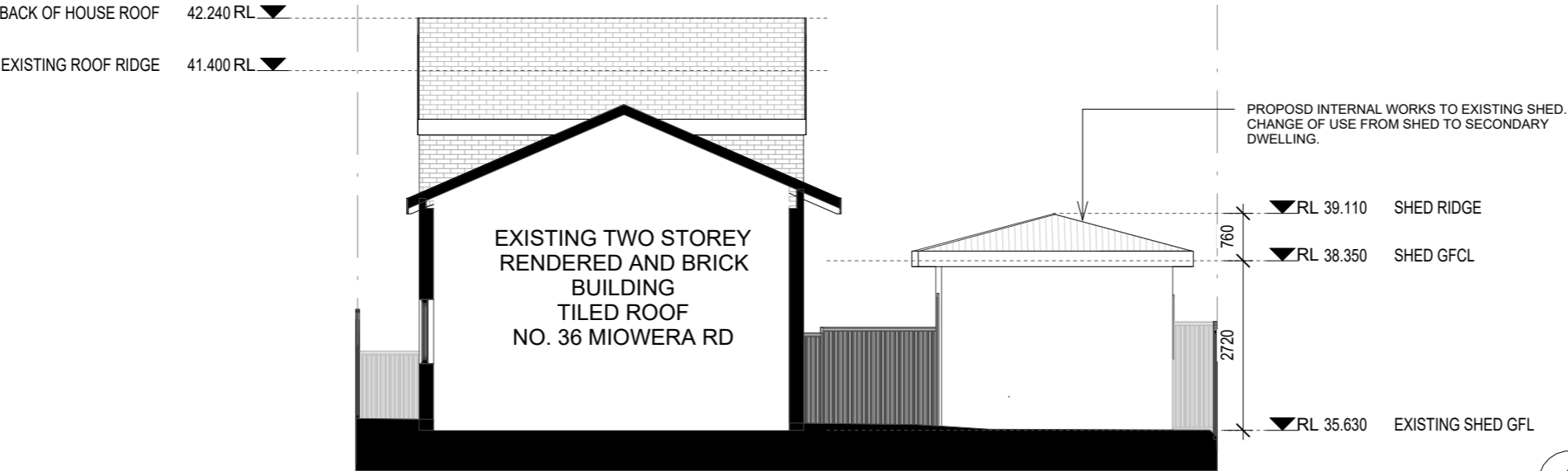
Level 1, 5 George St, North Strathfield 2137 NSW 1300 024 483 www.beehivedesign.com.au ABN: 55 644 232 708

SITE ADDRESS: **36 MIOWERA RD, CHESTER HILL NSW**
CLIENT: TD
LOT: SEC: DP: COUNCIL:
136 16897 Canterbury-Bankstown
PROJECT TYPE:
Secondary Dwelling



DRAWING: **Elevations - 01**
DRAWN BY: A.Alzaidy
ISSUED FOR: Issued for DA
CHECKED BY: A.Amirashairi
DATE: 29/08/23
SHEET NO: **06**
SCALE: 1 : 100
REVISION: **A**

PROJECT NO: P-137



1 South Elevation

1 : 100



2 East Elevation

1 : 100

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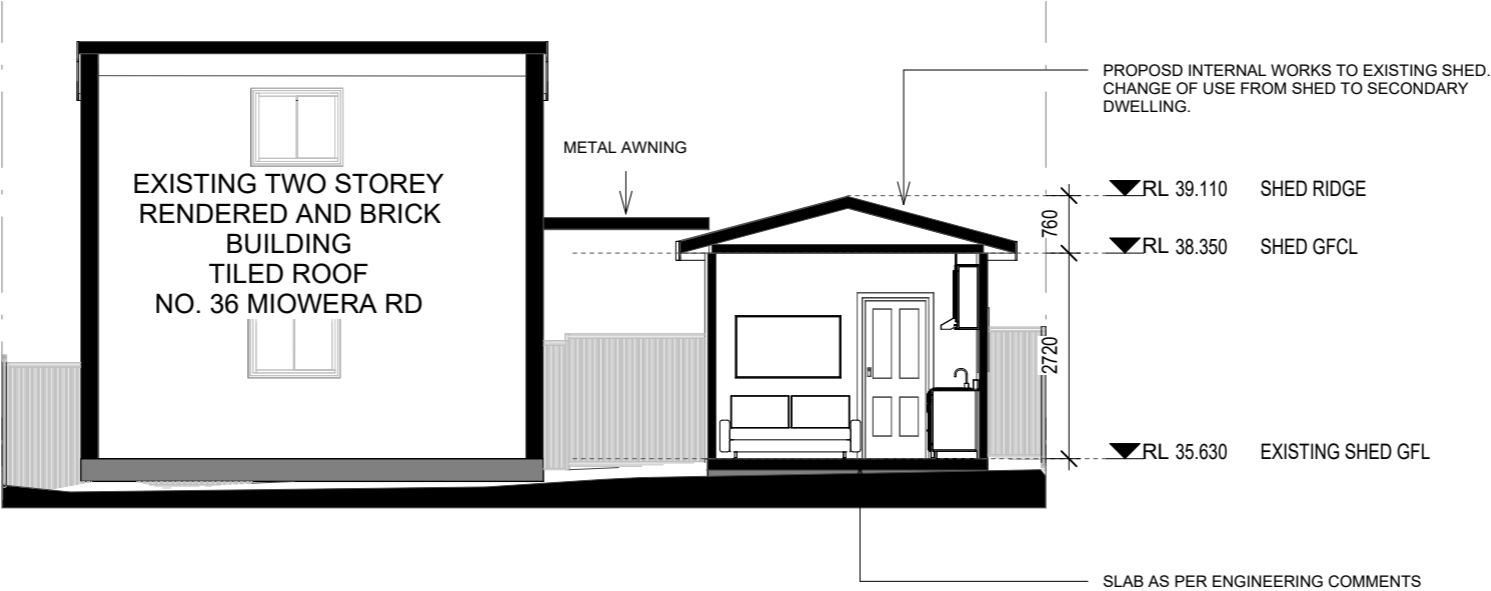
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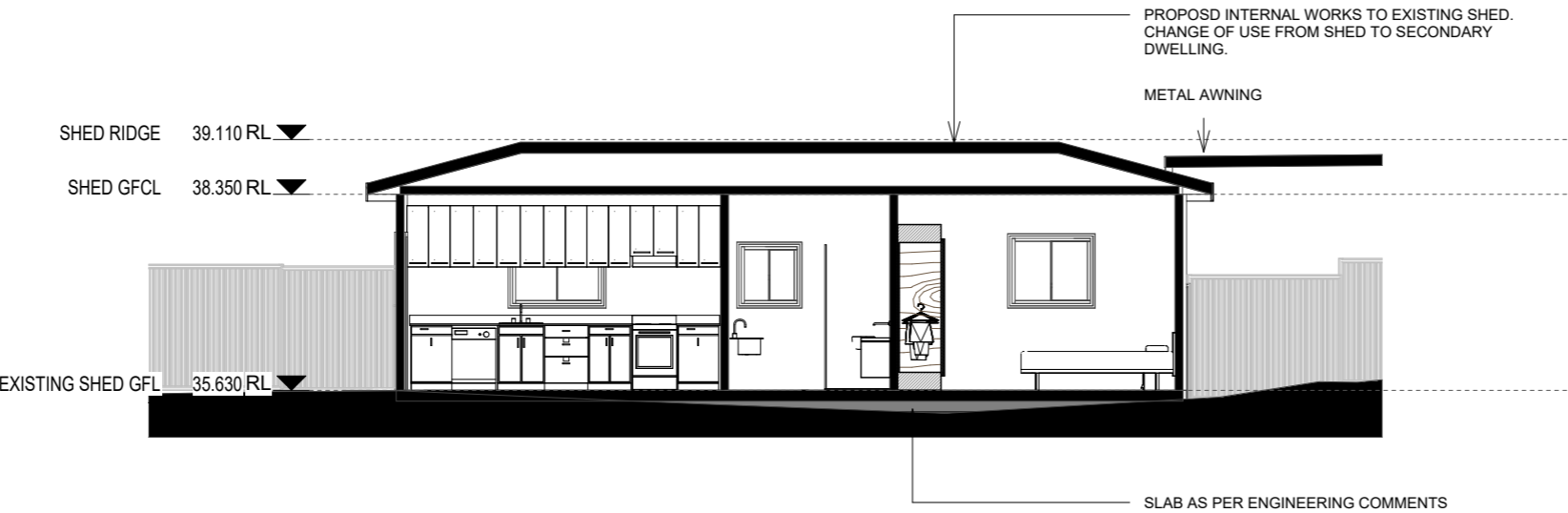
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CLIENT: TD
LOT: SEC: DP: COUNCIL:
136 16897 Canterbury-Bankstown
PROJECT TYPE:
Secondary Dwelling

DRAWING: **Elevations - 02**
DRAWN BY: A.Alzaidy
ISSUED FOR: Issued for DA
CHECKED BY: A.Amirashairi
DATE: 29/08/23
SHEET NO: **07**
SCALE: 1 : 100
REVISION: **A**

PROJECT NO: P-137

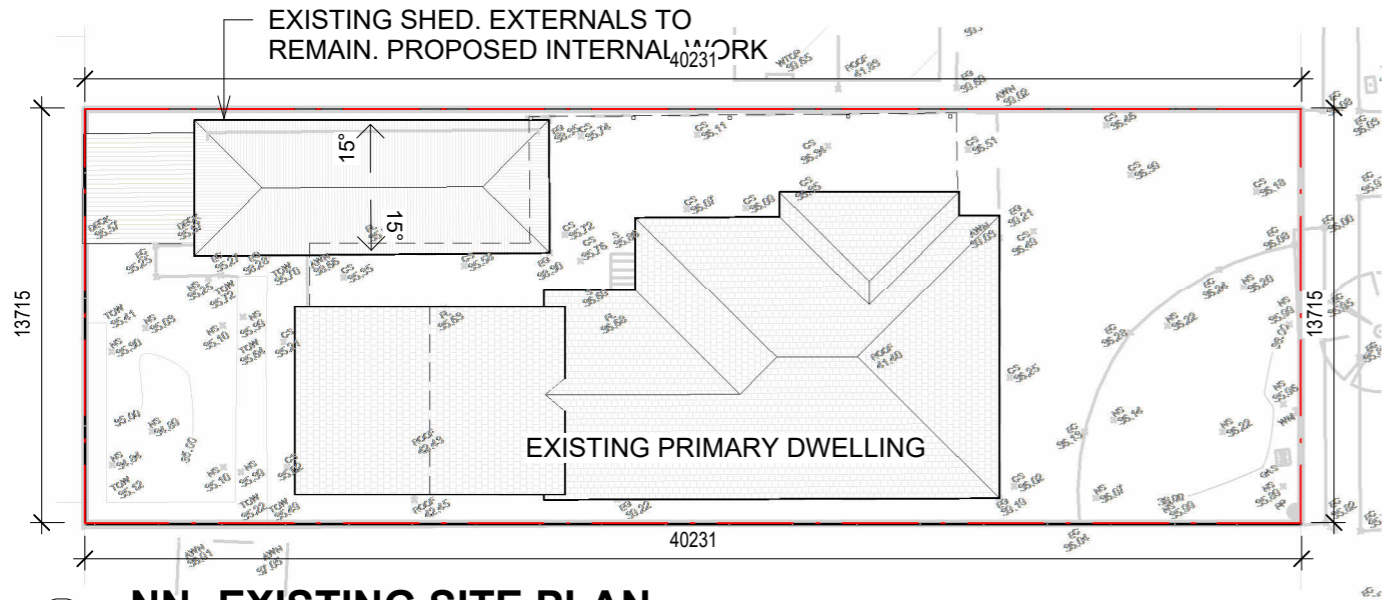


1 Short Section
1 : 100



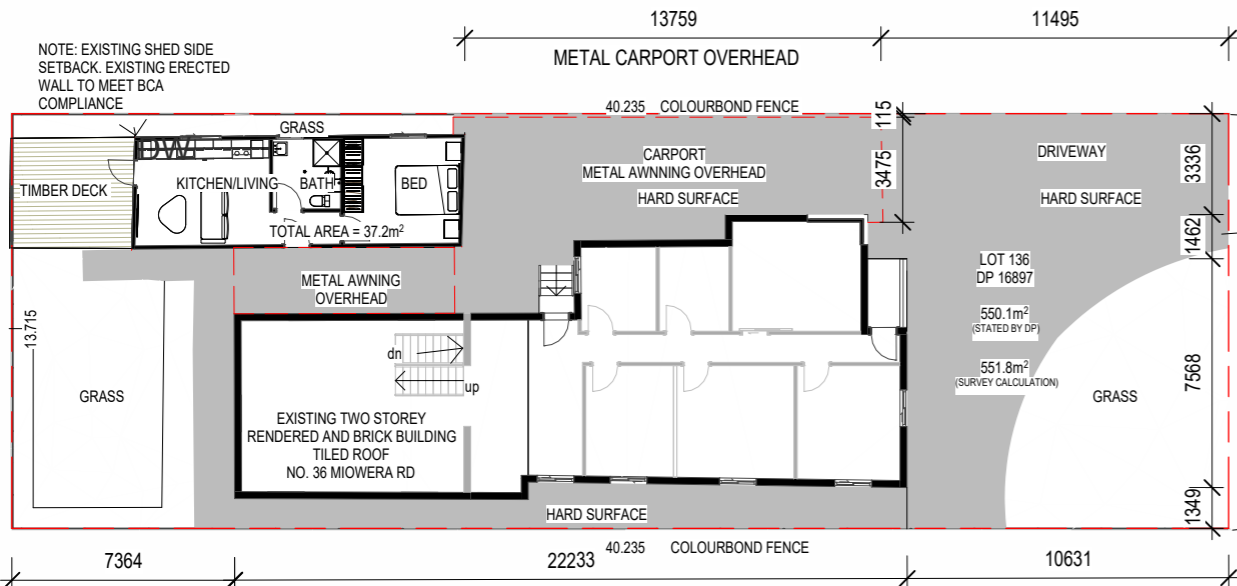
2 Long Section
1 : 100

No.	Date	Revision	By
A	07/09/23	DA	AA



1 NN- EXISTING SITE PLAN

1 : 250

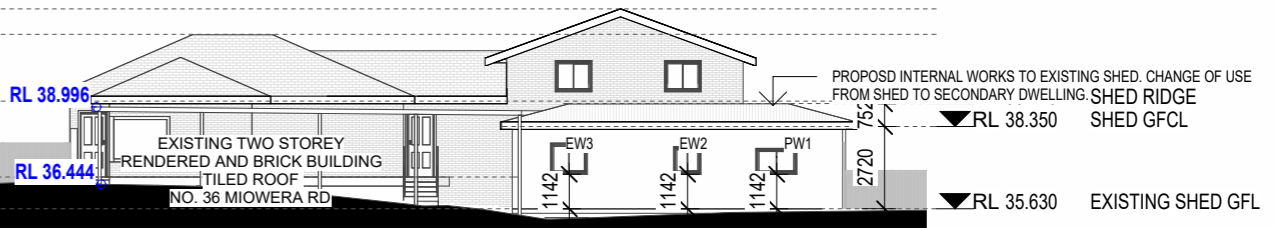


2 PROPOSED SECONDARY DWELLING FLOOR PLAN

1 : 250

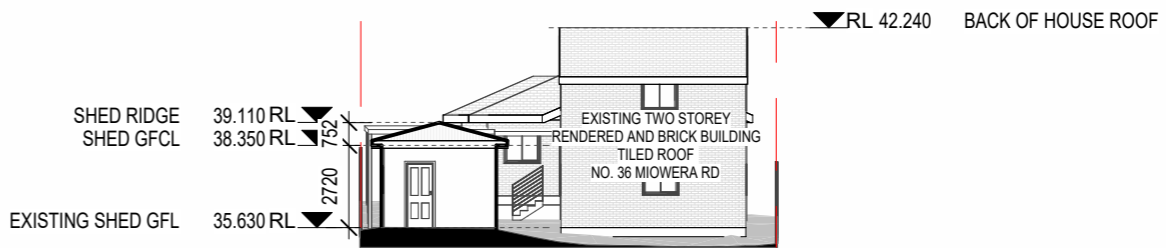
BACK OF HOUSE ROOF 42.240 RL
EXISTING ROOF RIDGE 41.400 RL

GFCL 39.190 RL
GFL 36.680 RL



3 NN - East Elevation

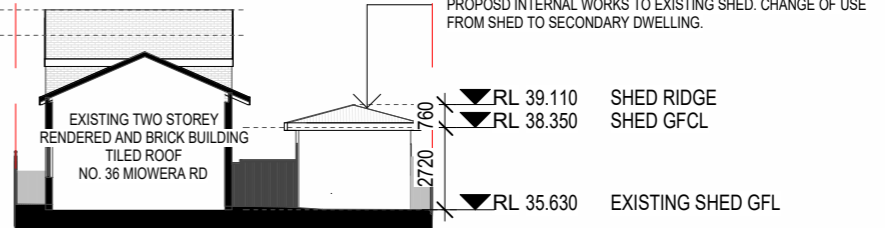
1 : 250



4 NN - North Elevation

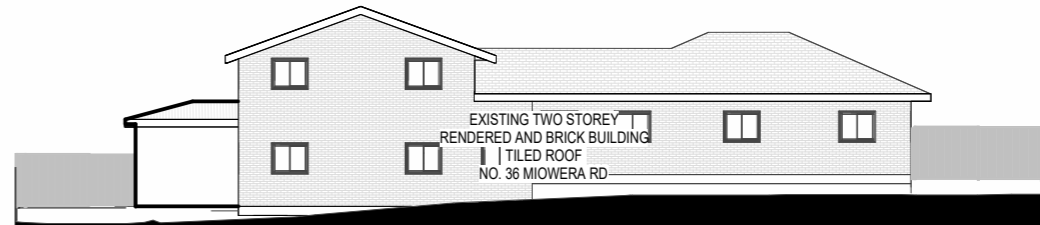
1 : 250

BACK OF HOUSE ROOF 42.240 RL
EXISTING ROOF RIDGE 41.400 RL



5 NN - South Elevation

1 : 250



6 NN - West Elevation

1 : 250

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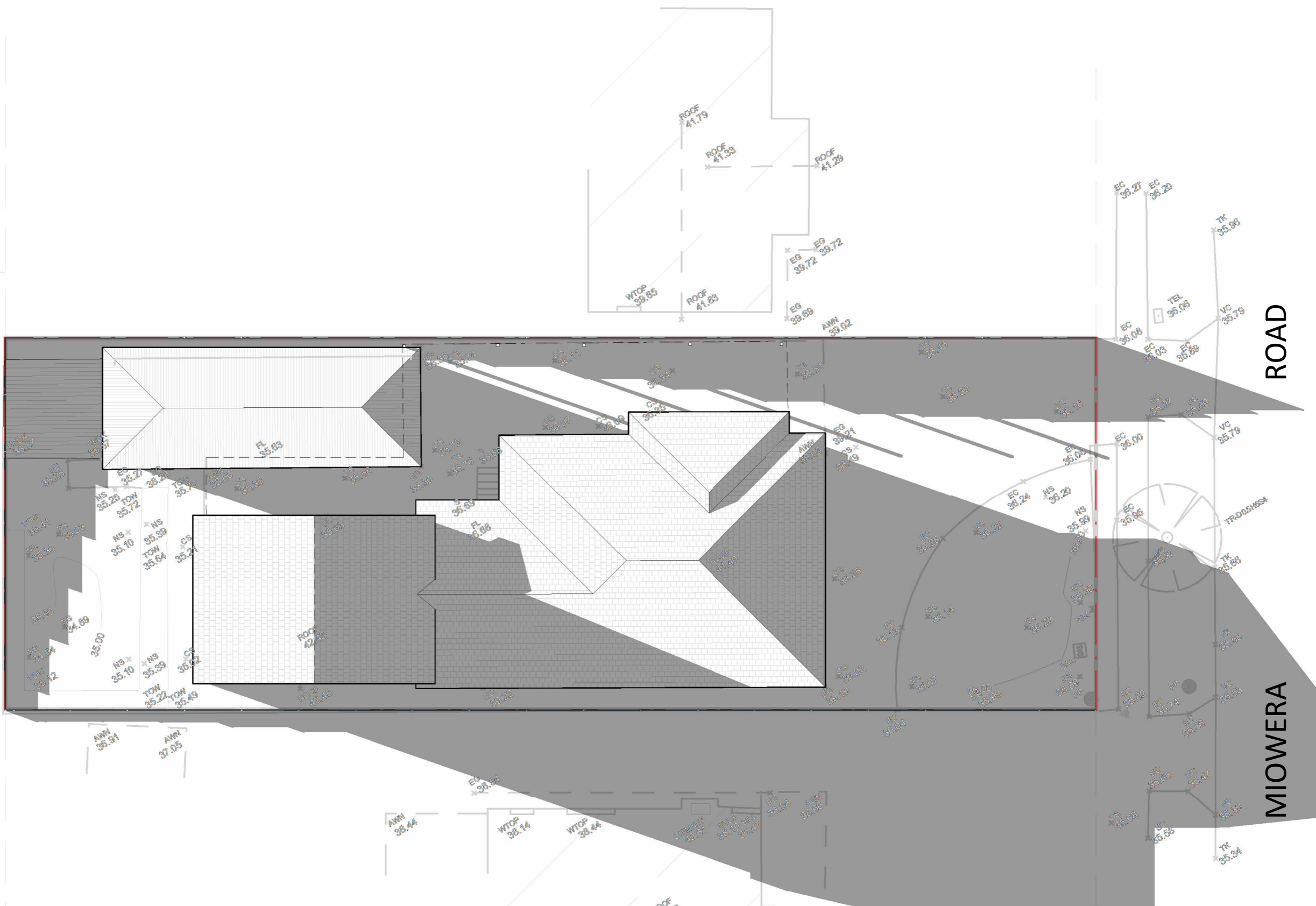
Level 1, 5 George St, North Strathfield 2137 NSW 1300 024 483 www.beehivedesign.com.au ABN: 55 644 232 708

SITE ADDRESS: 36 MOWERA RD, CHESTER HILL NSW
CLIENT: TD
LOT: SEC: DP: COUNCIL:
136 16897 Canterbury-Bankstown
PROJECT TYPE:
Secondary Dwelling

DRAWING: Neighbour
Notification
DRAWN BY: A.Alzaidy
ISSUED FOR: Issued for DA
CHECKED BY: A.Amirashairi
DATE: 29/08/23

SHEET NO: 09
SCALE: 1 : 250
REVISION: A

PROJECT NO: P-137



1

21 JUNE 8AM

1 : 150

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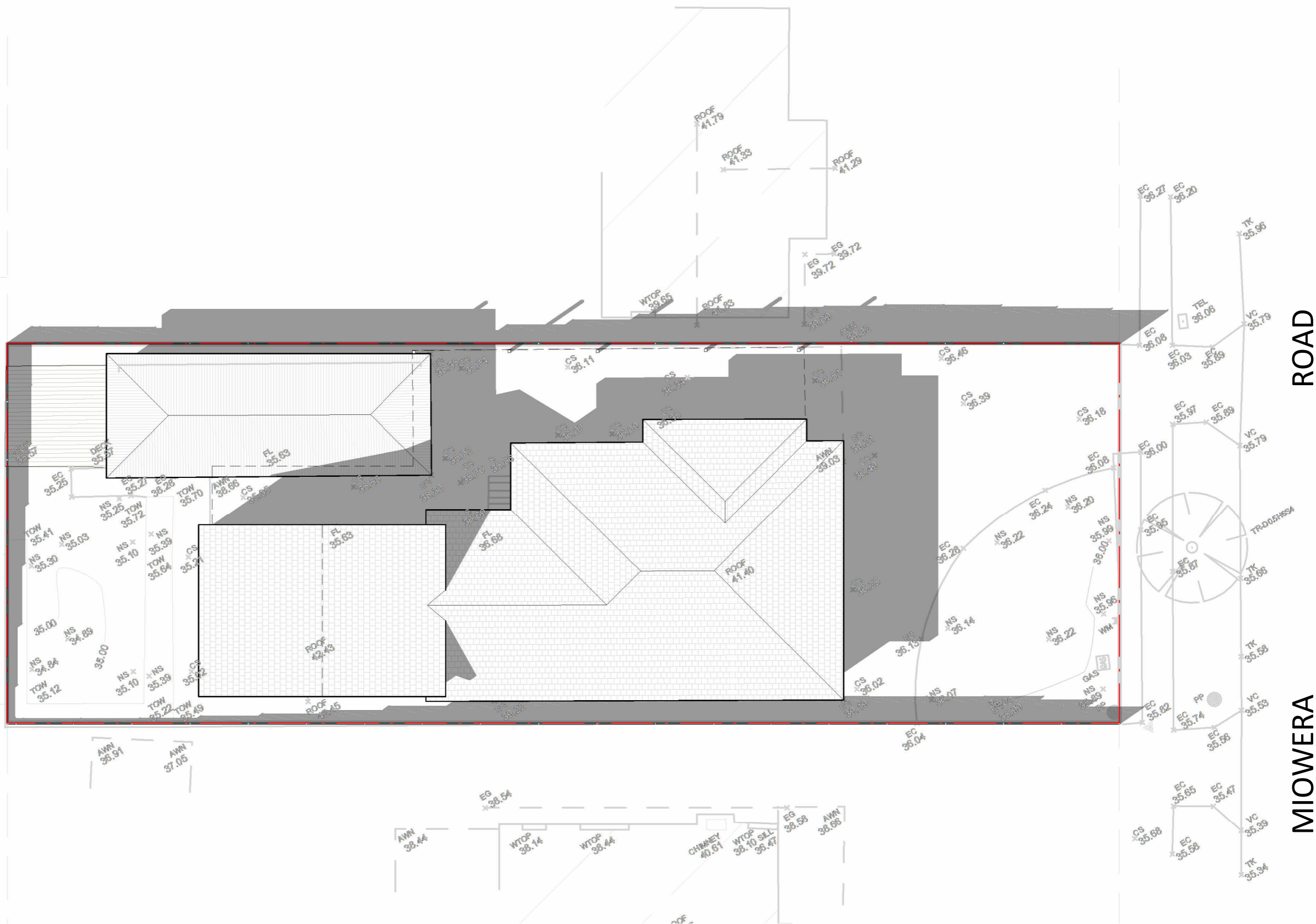
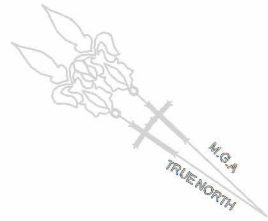
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DESIGN

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SITE ADDRESS: **36 MIOWERA RD, CHESTER HILL NSW**
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136 16897 Canterbury-Bankstown
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DRAWING: **21 June 8am**
DRAWN BY: A.Alzaidy
ISSUED FOR: Issued for DA
CHECKED BY: A.Amirashairi
DATE: 29/08/23
SHEET NO: **10**
SCALE: 1 : 150
REVISION: **A**

PROJECT NO: P-137



1

21 JUNE 12PM

1 : 150

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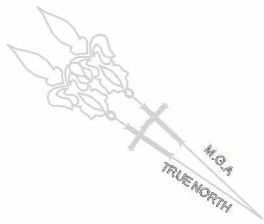
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136 16897 Canterbury-Bankstown
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Secondary Dwelling

DRAWING: **21 June 12pm** SHEET NO:
11
DRAWN BY: CHECKED BY: SCALE:
A.Alzaidy A.Amirashairi 1 : 150
ISSUED FOR: DATE: REVISION:
Issued for DA 29/08/23 **A**

PROJECT NO: P-137



1 21 JUNE 4PM
1 : 150

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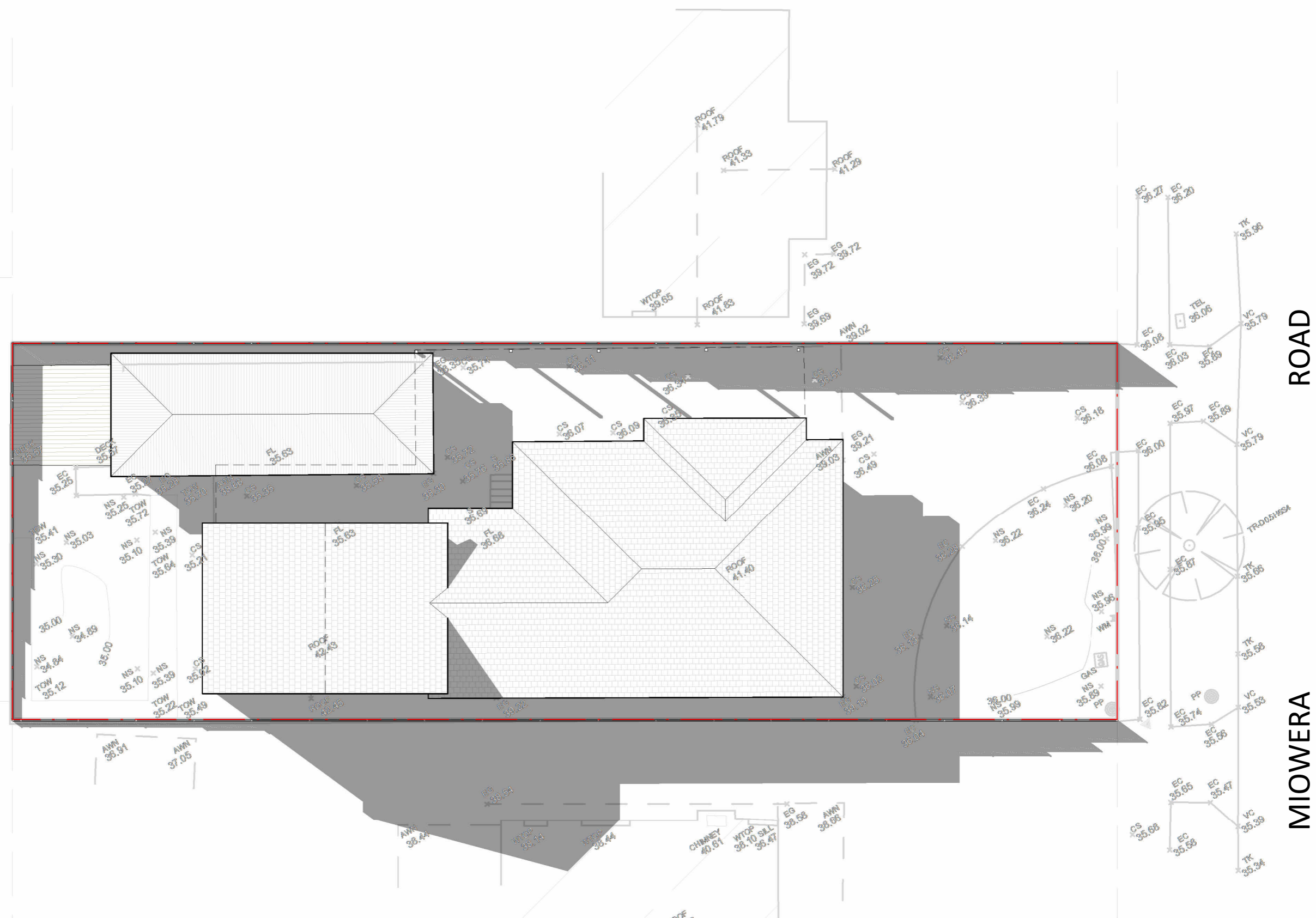
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SITE ADDRESS: 36 MIOWERA RD, CHESTER HILL NSW
CLIENT: TD
LOT: SEC: DP: COUNCIL:
136 16897 Canterbury-Bankstown
PROJECT TYPE:
Secondary Dwelling

DRAWING: 21 June 4pm
DRAWN BY: A.Alzaidy
ISSUED FOR: Issued for DA
CHECKED BY: A.Amirashairi
DATE: 29/08/23
SHEET NO: 12
SCALE: 1 : 150
REVISION: A

PROJECT NO: P-137



23 SEPTEMBER 8AM

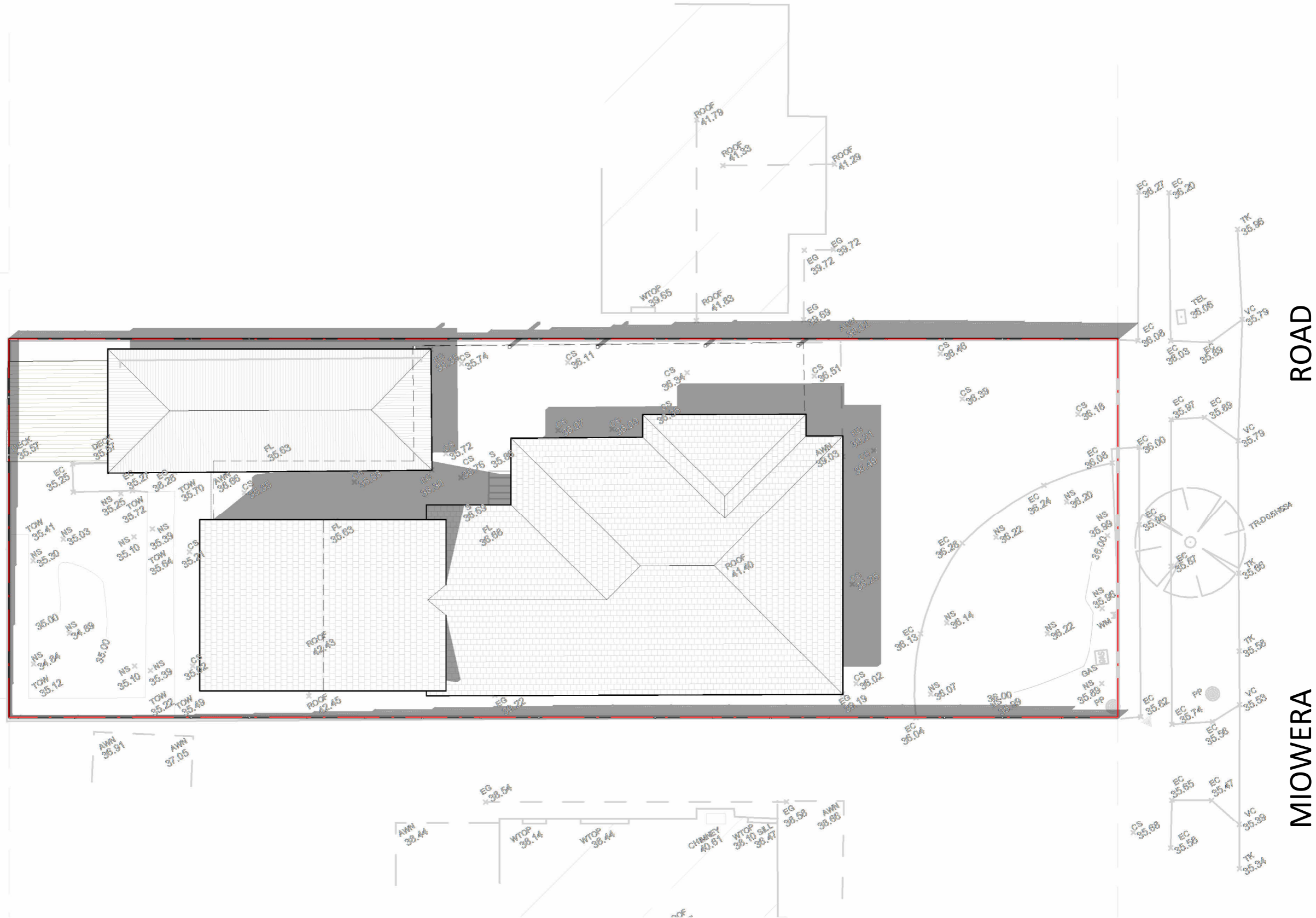
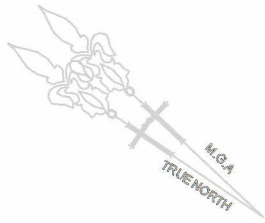
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Level 1, 5 George St, North Strathfield 2137 NSW 1300 024 483 www.beehivedesign.com.au ABN: 55 644 232 708

DRAWING: 23 September 8am		SHEET NO: 13
DRAWN BY: A.Alzaidy	CHECKED BY: A.Amirashairi	SCALE: 1 : 150
ISSUED FOR: Issued for DA	DATE: 29/08/23	REVISION: A

PROJECT NO.: P-137



1

23 SEPTEMBER 12PM

1 : 150

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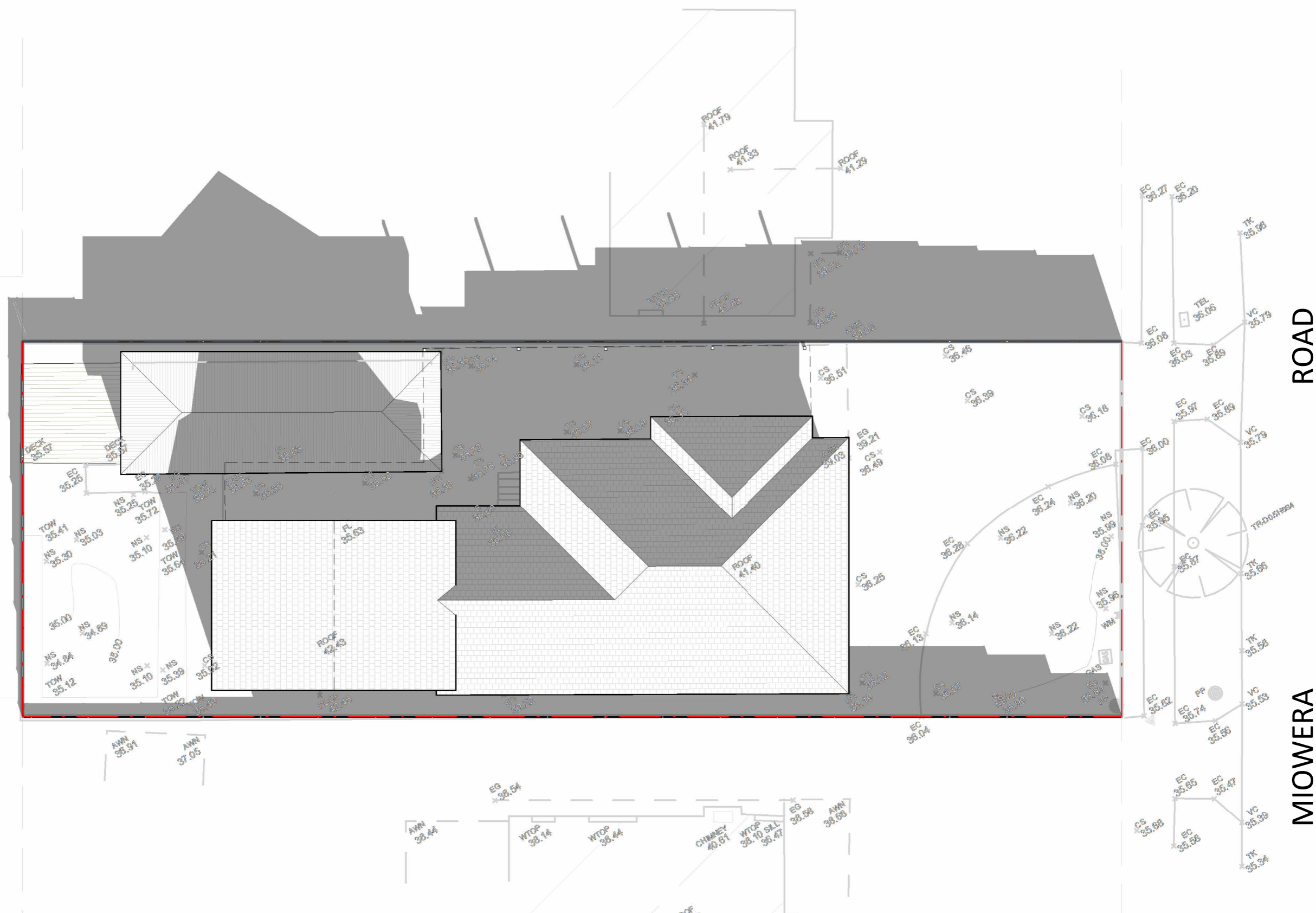
BEEHIVE
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SITE ADDRESS: **36 MIORERA RD, CHESTER HILL NSW**
CLIENT: TD
LOT: SEC: DP: COUNCIL:
136 16897 Canterbury-Bankstown
PROJECT TYPE:
Secondary Dwelling

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DESIGN

PROJECT NO: P-137